



DESIGN GUIDELINES  
August 1, 2005



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# Part I: Introduction

## 1.0 Statement of Intent

Great Plains Village is a master-planned community located in the southeast quadrant of the intersection between the I-25 frontage road and Weld County Road 50. This mixed use project includes parcels designated for multiple types of residential, retail, commercial, light industrial and office uses. These Design Guidelines seek to provide a clear direction for subsequent developments within the larger whole. The overall character of Great Plains Village must be evident and maintained to ensure the quality and cohesiveness desired in this emerging part of northern Colorado. The Guidelines will serve as a design concept for the Final PUD. High quality development is encouraged along the Interstate 25 corridor in general and Great Plains Boulevard in particular. Great Plains Village will be visible from the Interstate and its development will form a first impression of the community.

The design guidelines should be utilized by residents, developers, architects, engineers and planners for design and construction direction within this area. All developments within Great Plains Village are subject to the design guidelines contained herein. In cases where this document is silent, the Town of Johnstown standards and regulations at the time in which the Design Guidelines are adopted shall apply. All guidelines and standards are subject to the reasonable discretion of the DRC and JRC (see section 1.3 for definitions), which shall make a final determination in good faith.



## 1.1 Site Description

The existing zoning for Great Plains Village (GPV) is PUD Mixed-use. The annexation agreement between the town and the GPV anticipates that approximately 71 of the 137 acres will develop with commercial, office, or light industrial uses, with 66 acres for Multi-Family use.

### *Commercial*

As set forth in the agreement, approximately 700,000 square feet of commercial development is expected. The minimum lot size is one (1) acre while lots may be as large as thirty (30) acres. Based on the regional development experience, most lots will develop between two (2) to three (3) acres.

Land uses are laid out (Fig. A) such that the Retail/Commercial and Light Industrial/Office areas create a buffer between I-25 and the multi-family residential areas. The different uses will be tied together with integrated sidewalks, trails, and open areas. A higher standard of land development than the Town has historically seen in submittals for the Gateway Area is expected in GPV.

The northern Frontage Road lots (Fig A) will be commercial and office, the southern Frontage Road and eastern lots (Fig A) will be focused on light industrial uses. The prime commercial area will be the lots at the intersection of Weld County 50 and the I-25 Frontage Road. High quality development is encouraged in the highly visible I-25 Corridor to avoid the type of unintegrated development seen at the Highway 66/I-25 interchange and the Loveland-Fort Collins Airport.

### *Residential*

The annexation agreement expects 66 acres of Multi-Family use with a 600 maximum density or 20 dwelling units per acre. As noted, “This land use is to provide for the residential development of multi-family dwellings, including patio homes, row houses, alley access houses, attached homes (duplex, fourplex, twelveplex, etc.), townhouses, condominiums and apartments.”

The residential area, will be split on an east-west axis by a major collector street connecting the I-25 Frontage Road on the west, and Great Plains Boulevard on the east. The preliminary plat envisions four (4) residential pods of approximately fifteen (15) acres each. Two (2) will be north of the collector and two (2) will be south. The preliminary plans call for detention basins to be concentrated along Great Plains Boulevard and in the southeast section of the property. The Southwest corner of Weld County Road 50 and High Plains Boulevard may develop as a church or day-care.

The preliminary PUD plans also call for integrated open space among the pods and a use of the two major easements (Kaneb and AT&T)(see Section 2.2.3) to provide a backbone location for pedestrian and bike paths.

Because of the possibility of higher density development, with certain housing types, the applicant expects more of an urban village intensity for the property. We envision alley access to units, clustered town homes, apartment buildings, and intense buffering along the adjacent commercial and industrial uses to the west as well as High Plains Boulevard to the east.

## **1.2 Proposed Land Uses**

The following primary uses are intended for general guidance and are not comprehensive.

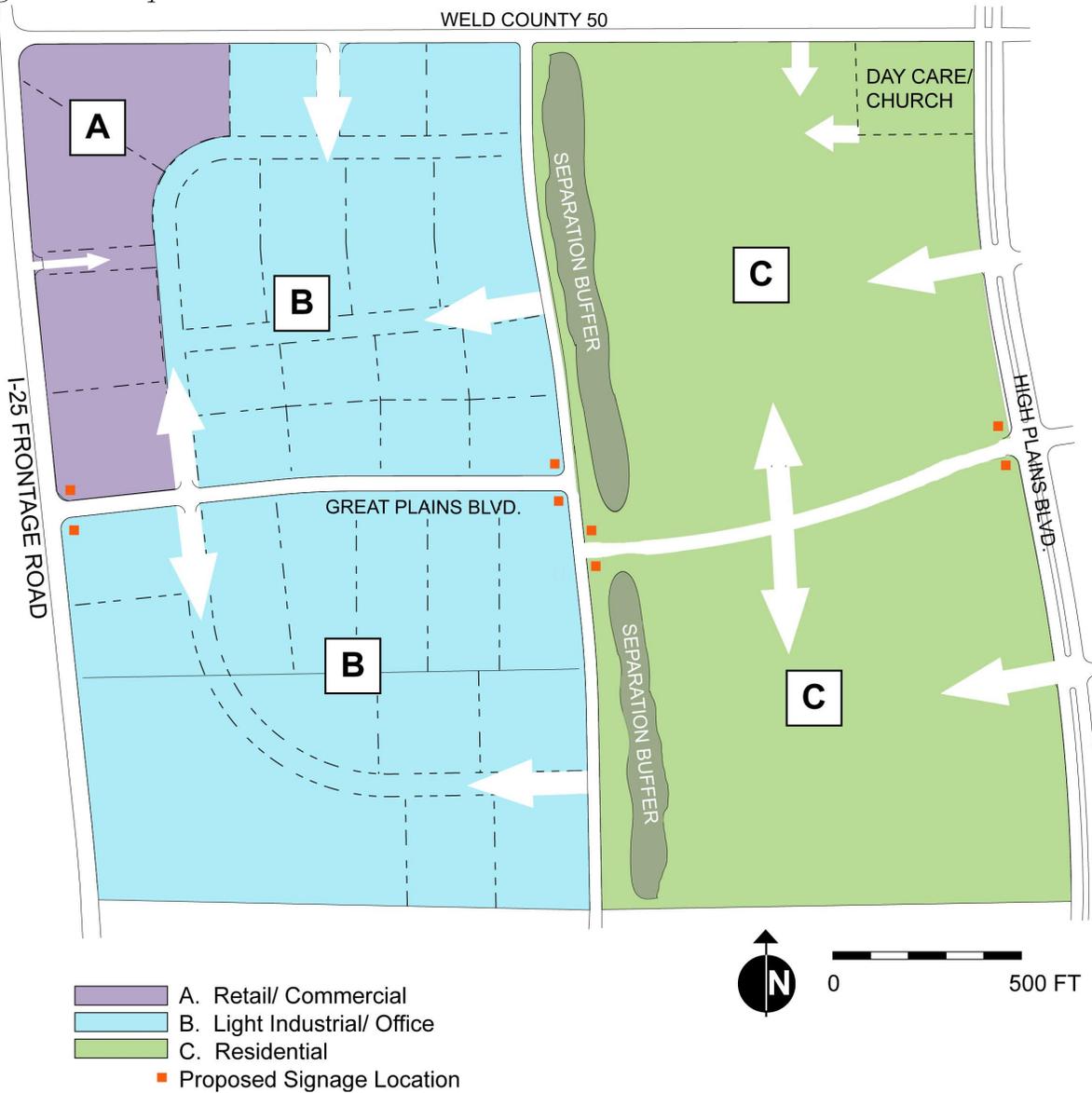
### **1.2.1 Residential Uses**

- \* Single-family detached dwellings
- \* Single-family attached dwellings
- \* Multi-family dwellings
- \* Private recreation
- \* Public Parks and recreation

### **1.2.2 Commercial Uses**

- \* Retail stores (including, but not limited to, department stores, drug stores, food stores, hardware stores, specialty shops, liquor stores and bakeries)
- \* Customer service establishments (including, but not limited to, dry cleaning, laundromats, restaurants, beauty shops, shoe repair and art studios)
- \* Automobile service
- \* Banks and financial institutions
- \* Commercial lodging
- \* Furniture sales
- \* Medical and dental clinics
- \* Passenger transportation terminals
- \* Theater

Figure A - Proposed Land Use Plan



### 1.2.3 Office Uses

- \* Business and professional offices
- \* Commercial lodging
- \* Healthcare offices
- \* Private club or lodge
- \* Public administrative offices
- \* Public library
- \* Public utility offices

## 1.2.4 Light Industrial Uses

- \* Manufacturing, assembly, processing and fabrication plants
- \* Distribution centers
- \* Automobile repair shops
- \* Experimental, testing and research laboratories
- \* General warehouses
- \* Printing and publishing houses
- \* Public utility installations
- \* Specialized contracting (including, but not limited to, plumbing, electrical, masonry, carpentry or painting)

## 1.3 Administrative Review

As stated in the narrative for the annexation, the applicant shall establish a Design Review Committee (DRC) in order to ensure that all owner CC & R's and designs standards are followed before a Final Site PUD Plan is submitted to the Town of Johnstown for administrative review by the Johnstown Review Committee (JRC).

### 1.3.1 (DRC) Design Review Committee

The purpose of the DRC is to ensure proposed developments meet the standards established in the Design Guidelines in order to maintain a consistency of planning and design throughout Great Plain Village. The Design Guidelines legally apply to all land that is a part of Great Plains Village, regardless of ownership, and are in addition to the zoning and land use regulations of local government. The adopted Design Guidelines will form the basis for the DRC review. The DRC is a committee consisting of Landscape Architect/Planner, a licensed Colorado Architect, and a representative of the owner to review and approve plans. Said committee will review plans on a regularly scheduled basis.

### 1.3.2 DRC Approval Process

Any proposal to construct, renovate or demolish improvements within Great Plains Village must have plan approval from the DRC prior to commencement, and following DRC approval, must also receive administrative approval from the Town of Johnstown Town Planner. If the DRC finds that a plan meets the Design Guidelines, the plans will be forwarded with a Certificate of review and approval to the Town of Johnstown. The JRC will process submittals. Said applications will be accompanied by required Town fees. All Town master plans, standards, subdivision requirements and building codes will apply. A "Notice of Committee Action" letter from the DRC will be sent to each applicant within a maximum of thirty (30) days after the date of submittal.

### 1.3.3 (JRC) Johnstown Review Committee

The Town's Design Review Committee will contain: The Town Administrator, Town Planner, Town Attorney and Town Engineer. The Johnstown Review Committee may seek the assistance of any other Town employee or consultant whose expertise is necessary to review the application. All town, subdivision, building codes, permits and fees adopted by the town of Johnstown will apply.

### 1.3.4 JRC Approval Process

All individual development projects within Great Plains Village shall be reviewed and approved by the town pursuant to this approval process.

#### A) Pre-Application

The applicant may schedule a pre-application conference with the Town Planner prior to submittal of any project proposal. The intent of this initial meeting is to review the overall development objectives with respect to the interpretation of the Design Guidelines before great time and expense has been exerted by any party.

#### B) Final Development Plan Submittal

All development projects shall be submitted in compliance with the current Town Community Development Application Form. The DRC approval form stating that the proposal meets all applicable standards of the Great Plains Village Design Guidelines shall accompany the required fees. The application will be reviewed for completeness within seven (7) working days of filing. Once the Town determines that the application is complete, the application shall be reviewed by the JRC. If the Town determines that the application is incomplete, then the Town shall specify in writing the specific ways in which the application is insufficient.

The JRC review, for conformance to the Design Guidelines shall be completed within forty five (45) calendar days of Town determination of application completeness. This forty five (45) day period may be extended in writing by the applicant. The JRC may grant variances based upon the DRC recommendation and applicant's ability to demonstrate equal to or better design solutions. The Town may not, however, grant a variance to permitted uses.

#### C) JRC Approval

The JRC shall grant approval to applications deemed to comply with the applicable terms and conditions of the Great Plains Village Design Guidelines. The JRC may approve the application with conditions. Said conditions will be specifically enumerated by the JRC with reference to the relevant section of the Design Guidelines. In the event that the JRC determines that the proposed development does not comply with the Design Guidelines, the JRC shall enumerate, in writing, the specific failures to meet the applicable criteria.

#### D) JRC Appeals

The decision of the JRC may be appealed to the Johnstown Town Board. All appeals shall be made in writing, by the applicant, within thirty (30) days of the date of transmittal of the JRC's decision. The Johnstown Town Board shall hear the appeal within thirty (30) days of the filing of appeal. The decision of the Town Board on the appeal shall be final.

Resubmittal of applications requiring modification will be handled in the same manner and within the same time frame as the initial application.

### 1.3.5 Variances

The DRC may authorize variances from the Design Guidelines, such as do not conflict with Town of Johnstown regulations. Variances must be approved by both the DRC and JRC through the above listed procedures.

### 1.3.6 Final Plan Amendments

Amendments to final plans must be approved by both the Design Review Committee and the Johnstown Review Committee.

Note: Subsequent submittal for Building Permit shall comply with Town of Johnstown Regulations and Procedures.

## 1.4 Related Documents

These Guidelines serve as an overview and directional path for development within Great Plains Village. Other relevant documents may be consulted where further detail is required. The below list is an example of but by no means comprises a comprehensive list of associated documents. The version currently in effect at the time of Design Guideline adoption shall apply.

- Johnstown Criteria and Construction Regulations
- Johnstown/Millikin Parks, Trails, Recreation and Open Space Plan
- Johnstown Transportation Plan
- Town of Johnstown Comprehensive Plan
- Town of Johnstown Landscape Standards and Specifications

## 1.5 Covenants

The developer will provide to the Town, at the time of Final Plat, a complete set of covenants for review. The covenants will be designed to address specific issues not addressed in these Design Guidelines. Each covenant shall be subservient to these design guidelines and shall conform to all governing local statutes. Covenants will be approved by the Town.



# PART II : DESIGN GUIDELINES

## 2.0 General Design Guidelines

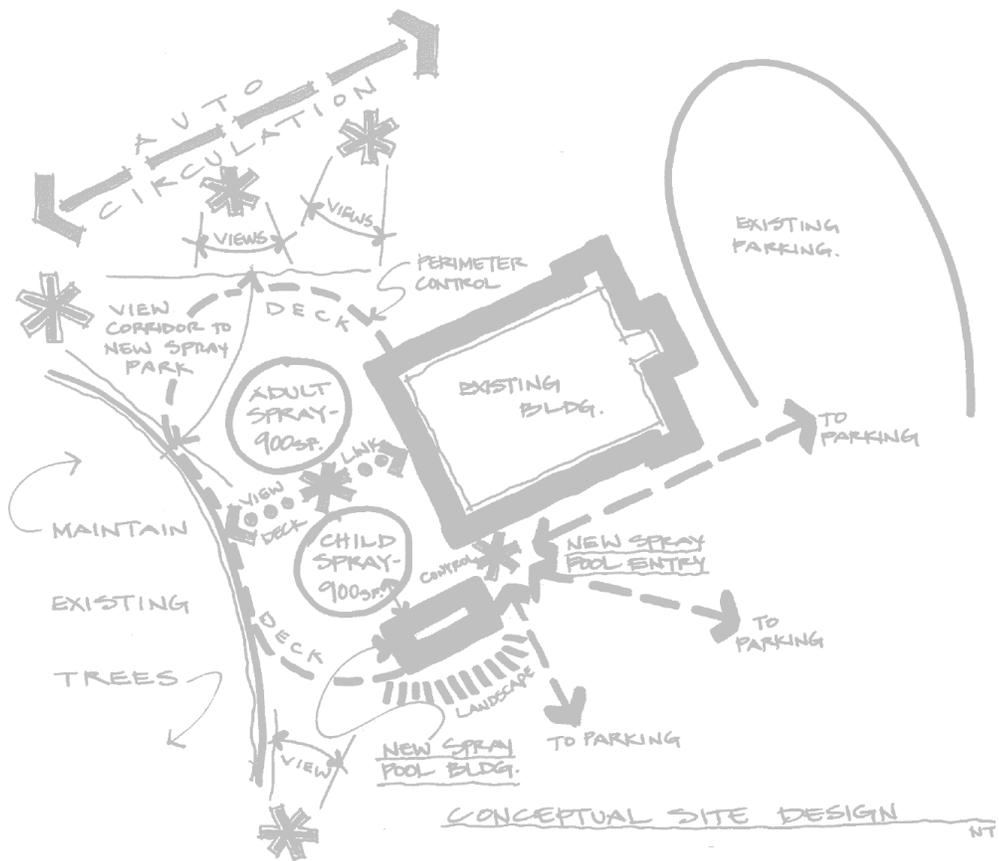
### 2.1 Applicability

This section applies to all development within Great Plains Village and provides general standards upon which the subsequent sections will build to provide greater clarity for specific land uses. As mentioned above all governing local codes, regulations, and statues enforced by the town of Johnstown will apply.

### 2.2 Site Planning

#### 2.2.1 Site Design and Building Orientation

Care shall be taken as to solar orientation and shade when sighting built improvements in Great Plains Village. Attention to north - south orientations, prevailing wind direction and desirable views shall be given to all building improvements. Location of building entrances, fenestration and vegetation must be carefully coordinated to maximize the natural amenities of the site.



### 2.2.2 Storm Drainage

The design philosophy regarding storm drainage is to minimize runoff and utilize the available technology to meet engineering requirements while improving storm water quality before it reaches natural systems which may be affected by poor water quality. The goal is to reduce infrastructure costs, increase groundwater recharge and improve the environment.



### 2.2.3 Easements & Infrastructure

The proposed infrastructure within Great Plains Village will meet the Town of Johnstown Design Criteria and Construction Regulations in effect when the Design Guidelines are instituted.

The below listed easements in existence at the creation of these guidelines were implemented by separate entities and is therefore the responsibility of individual developers to coordinate with these entities as to the validity of the easement definitions and restrictions.

#### A) 20 Foot AT&T Easement

Any proposed activity within the AT&T easement is subject to review and approval by AT&T. At the direction of AT&T, for the proposed utility and street crossings, encasement if the existing AT&T line and encasement of the proposed utility may be required. In addition, sleeving may be required to be installed for future AT&T use. No building shall be constructed within the AT&T easement.

#### B) 50 Foot Kaneb High Pressure Pipeline Easement

Any proposed activity within the Kaneb easement will be subject to review and approval by Kaneb. At all street or road crossings, Kaneb must have a minimum of five (5) feet of cover in the area of the crossings and a minimum of three (3) feet of cover in the areas of any ditches or swales. No building, structure, area of congregation, or work shall be within fifty (50) feet of the pipeline unless the pipeline is provided with a minimum of forty eight (48) inches of cover. There shall be no fences, engineering works, structures, etc. permitted to be constructed within twenty five (25) feet of the pipeline. Any utility crossing installed must be installed with a minimum twenty four (24) inch separation below the bottom of Kaneb's pipeline and the top of the utility, and the utility (except for sewer and water) must be placed in a steel casing which extends a minimum of ten (10) feet to either side of Kaneb's pipeline, and the utility shall cross as close to a ninety (90) degree angle as possible, but not less than forty five (45) degrees. All landscaping upon the easement must be approved by Kaneb. Should any modification be required for Kaneb to maintain, operate, or protect this pipeline to meet the conditions stated above, all associated costs shall be born by the responsible developer.

### 2.2.4 Grading

Provide positive drainage away from foundations.

There shall be no grading beyond the limits of each property line unless agreed upon by adjacent owners.

### 2.2.5 Screening

Areas to receive screening include, but are not limited to, storage areas, loading docks and utility installations.

The design of these areas is to conform with that of the overall building and landscaping such as to minimize the visual and acoustic impacts of there associated functions.

Service areas located directly adjacent to residential uses shall be avoided. If this situation occurs, no delivery, loading, trash removal, compaction or any such operation shall take place during the hours of 10:00 P.M. and 7:00 A.M. unless evidence can be provided that sound barriers effectively reduce the noise emissions to a level of 45 db as measured at the lot line of the adjoining property.

### 2.2.6 Noise Attenuation

The landscape plans along the I-25 Frontage Road, and the interior North-South Road shall be designed with noise attenuation strategies. Such strategy examples may include berms, walls and plant clusters and will be subject to Town approval.

## 2.3 Pedestrian Circulation

### 2.3.1 Walkways

All streets shall be provided with sidewalks. The minimum width of sidewalks shall be five (5) feet for residential and collector streets and ten (10) feet for arterial streets.

Arterial streets shall have detached sidewalks and sidewalks shall adjoin the curb and gutter at all intersections.

Internal pedestrian walkways shall be distinguished from driving surfaces through a change in paving materials to enhance the crosswalk.

Clear paths shall be provided from parking areas to building main entrances.

All American with Disabilities Act (ADA) guidelines will be adhered to, as well as governing local statutes.

### 2.3.2 Bike Lanes

Bike lanes shall be a minimum of four (4) feet wide on all arterial and collector streets.

### 2.3.3 Recreational Paths & Trails

Recreational paths & trails shall meet the criteria as established in the Johnstown/Milliken Parks, Trails, Recreation, and Open Space Plan at the time in which the Design Guidelines are adopted.

## 2.4 Vehicular Circulation

Design of vehicular roadways, drives and parking areas shall conform to the criteria established in the Town of Johnstown Design Criteria and Construction Regulations at the time of Design Guideline adoption.

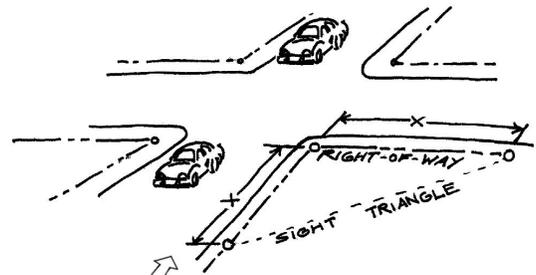
### 2.4.1 Emergency Access

Provide access for fire, police, ambulance, and other emergency vehicles to the building in accordance with governing local districts and codes.

Figure B - *Sight Triangle*

### 2.4.2 Sight Triangles

Sight Triangles shall meet the criteria established in the Town of Johnstown Design Criteria and Construction Regulations at the time of Design Guideline adoption.



## 2.5 Parking

The dimensions of parking spaces will be in accordance with Town of Johnstown Regulations.

A) The minimum parking requirements are as follows:

Single Family	Two spaces per dwelling
Multi Family	One and one half spaces per unit
Restaurants	One space per three seats
Industrial	One space per every two employees
Office	One space per 250 square feet gfa ( <u>gross floor area</u> )
Commercial	One space per 250 square feet gfa

Figure C - *Landscape Island Placement*



- B) There shall be no more than twenty spaces in a row before a landscape island of nine (9) feet minimum in width shall be built, as per Town landscape standards.
- C) Handicapped spaces are to follow Town of Johnstown Parking Regulations and governing accessibility code for placement, dimension, and count of required handicapped parking spaces. Integrate accessible spaces in the lot such that typical routes of travel are along accessible paths.
- D) All parking lot layouts and associated landscaping shall conform to Town of Johnstown Regulations and Landscape Standards.

### 2.5.1 Bicycle Parking

Bicycle parking facilities shall be required for all land uses, except for single family attached or detached housing.

- A) Bicycle parking shall be located in convenient areas visible to building entrances while safely separated from pedestrian and vehicular traffic flow.
- B) Bicycle parking shall be compatible with the Architectural Design of specific buildings and projects.
- C) See Appendix A for Examples of bicycle parking fixtures.

## 2.6 Landscaping

Landscape design shall conform to the Town of Johnstown Landscape Standards. Plans are subject to DRC/JRC approval and will adhere to the following landscape design principles:

- A) Design landscapes to create a naturalized appearance. Use a predominance of plant materials that are indigenous to Northern Colorado when possible.
- B) Design to provide an attractive, comfortable environment for users while minimizing maintenance needs, irrigation needs and use of herbicides and pesticides.
- C) Use plants to buffer structure and outdoor use areas from extreme climate conditions.
- D) Design to manage irrigation systems to achieve peak efficiency.
- E) No turf grass less than 8 feet wide is allowed.

## 2.7 Lighting

Great Plains Village shall be lit in such a way as to create clear, safe intersections, thoroughfares and places of destination while ever upholding the sanctity of the quiet enjoyment of residential areas.

- A) Lighting within the project shall consist of downcast (light spillage limited) fixtures and shall be designed not to cast lights on adjoining properties. Light poles shall neither exceed twenty (20) feet in height in Residential areas, nor thirty (30) feet in height in Commercial areas. A formal lighting plan, showing the photometric pattern and fixture selection will be submitted as part of any Final PUD application. Said lighting poles shall be architecturally compatible with the building designs.
- B) Arterial street lights will be the Town's standard fixture.
- C) All lighting plans and fixtures subject to DRC/JRC approval.
- D) See Appendix A for Light Fixture Examples.

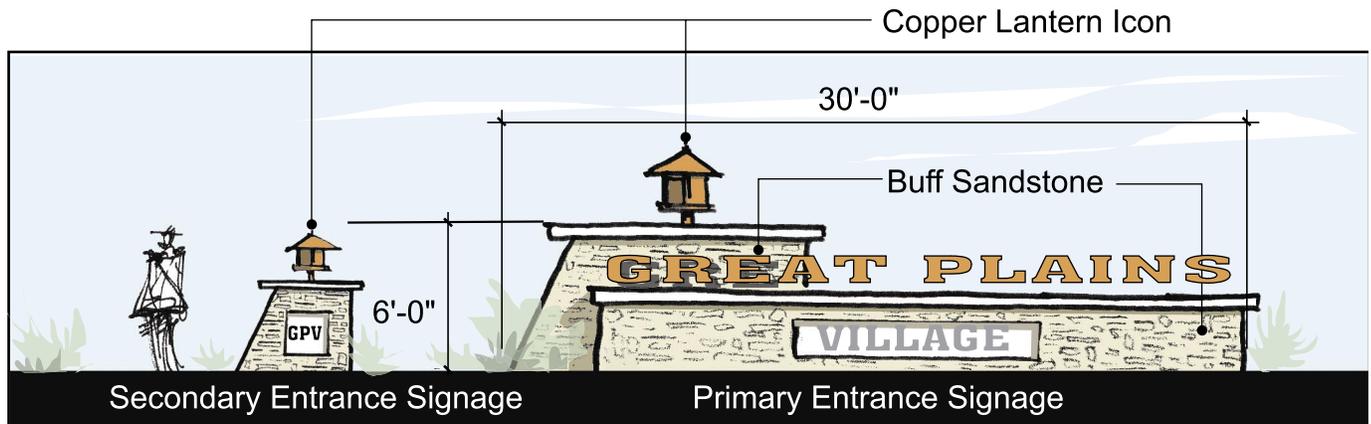
## 2.8 Utilities

All utilities such as water, sewer and sanitary will be constructed to the adopted standards of the Town of Johnstown.

## 2.9 Sign Standards

Permanent signs shall be used to identify land uses and for directional purposes. All permanent signs will be monument signs. The color, style, and design will reflect the general architectural character of the development. Design of streets signs, and posts are subject to DRC/JRC approval. Refer to the Johnstown sign code for additional information.

Figure D - *Signage Design Example*



### 2.9.1 Street Furniture

Street furniture shall be compatible with the Architectural Design of specific buildings and projects. All street furniture shall be approved by the DRC and the JRC.

See Appendix A for Examples of Street Furniture.

## 3.0 Design Guidelines for Commercial, Office and Light Industrial Uses

Because of the mixed use nature of Great Plains Village, it is expected that the development pattern will evolve with different related elements. The higher volume uses (Figure A) will be located along the Interstate Frontage Road. The retail uses will be concentrated in the northwest section of the PUD.

### A) Permitted Uses

- 1) Retail sale of goods and services.  
For example, but not limited to food stores, drugstores, restaurants, mortuaries, home improvement stores, motels, hotels, banks and financial institutions, hospitals, medical establishments, research laboratories, retail sales and service, veterinary hospitals, nurseries, dental clinics, minor automobile repair and servicing establishments, home and garden centers.
- 2) Libraries, parks, golf courses, nursing homes.
- 3) Bowling allies, gymnasiums, swimming pools, health clubs.
- 4) Business and Professional offices
- 5) Light manufacturing, which involves processing, assembly, or packaging of material completely within an enclosed building. All accessory outside storage areas must be screened from the view of public streets.
- 6) Warehouses and Distribution centers.
- 7) Public Utility offices and installations
- 8) Mini & Self Storage Facilities. All storage unit uses will be screened from public view. Storage unit projects will only be allowed in the second tier of lots east of the frontage road. (Utility and storage facilities on Interior Lots Only)
- 9) Commercial uses will be stand alone, unless integrated in retail centers of at least 20,000 square feet in size.

### B) Prohibited Uses

- 1) Motor freight terminal, truck stops, truck repair facilities, truck transfer station.
- 2) Vehicle dealerships of any kind.
- 3) Storage, manufacture, purifying, packaging or repackaging, selling or supplying toxic or highly flammable chemicals or gases as a primary use.
- 4) Above ground tank farms or storage of gasoline, fuel, oils, gases or chemicals or other flammable, corrosive or toxic substances as a primary use.
- 5) Adult bookstores, businesses showing X-rated movies or live acts, massage parlors, and other businesses dealing primarily with indecent or obscene materials, acts, or paraphernalia.
- 6) Outdoor storage as a principal use.

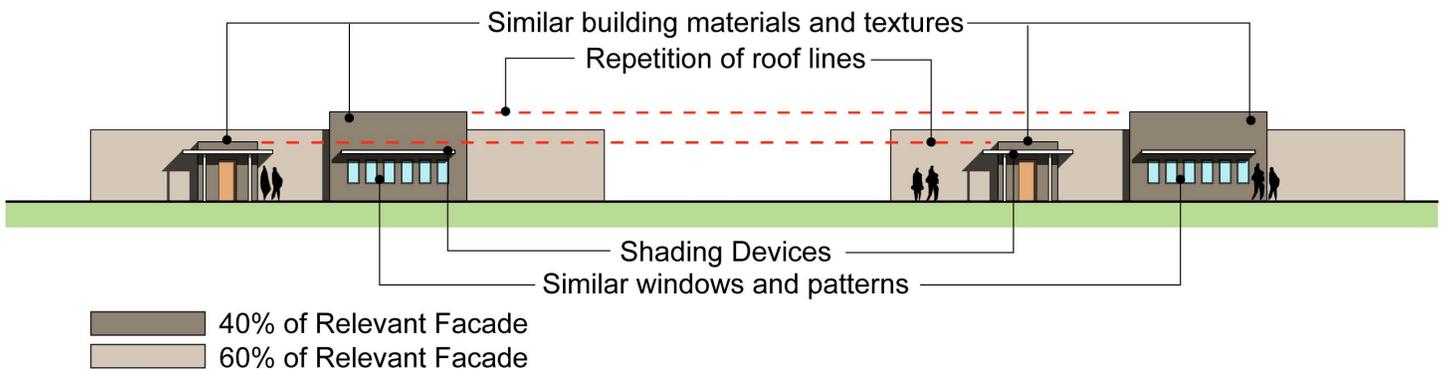
## 3.1 Design Standards - Commercial

These Design Standards apply to the creation of and improvements to high visibility, neighborhood, community and regional-scale commercial areas. Requirements applicable to the overall nature of the PUD can be found in the General Design Guidelines Sections and should be viewed as complementary.

Site Standards Table	Commercial Buildings
Minimum lot size	
Minimum front setback	30
Minimum side setback	15
Minimum rear setback	15
Minimum setback from CR 50, GPB, & I-25 Frontage Road	30
Maximum building height measured 30' from property line	70

note - all measurements in feet unless otherwise noted

Figure E - Context/Scale



### 3.1.1 Context/Scale

In order to achieve cohesive designs within each area of development attention must be paid to buildings and features surrounding the proposed improvement. The design of buildings which face public streets, adjacent developments, or connected pedestrian spaces, shall employ, along forty (40) percent of the facade, at least two (2) of the following in an effort to form cohesive development, define the spaces, and to bring a pedestrian scale to the facades. This requirement is for all elevations (360° design)

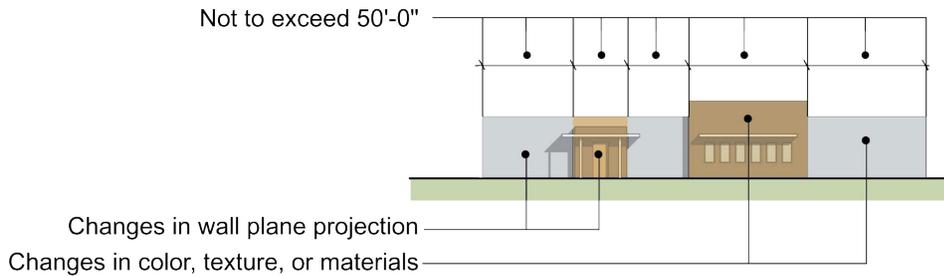
- A) Similar windows and patterns
- B) Repetition of Roof Lines
- C) Similar building materials and textures
- D) Shading devices (including arcades, awnings and arbors)
- E) Similar proportions of elements

Figure F - Commercial Example



LDD

Figure G - *Articulation*



### 3.1.2 Articulation

Wall design for all facades shall vary at least every fifty (50) horizontal feet by use of at least two (2) of the following:

- A) Changes in color, texture, or materials.
- B) Changes in wall plan projections, reveals, entrances, and recesses with a minimum change of one foot.
- C) Change in glazing / curtain wall
- D) Variety in roofs: such as pitch, height, and style.
- E) Enhance articulation along pedestrian paths

### 3.1.3 Building Entrances

Public Building Entrances should be clearly defined and feature at least two (2) of the following elements:

- A) Canopies or porticos
- B) Overhangs or recesses or projections
- C) Arcades
- D) Arches
- E) Display windows along sidewalks
- F) Integral planters or wing walls incorporated landscape areas and/or places for sitting
- G) Distinctive roof forms
- H) Awnings
- I) Columns, tile work, moldings, and stone integrated into the design of the building

### 3.1.4 Facade Materials

Colors and Materials shall consist of the following façade options:

- A) Brick, masonry, native or cultivated stone, textured and colored stucco, tinted and textured concrete units, architectural-finish pre-cast panel, tilt-up concrete, or stucco.
- B) Metal trim panels smooth face colored concrete, timber trim and heavy timbers may be used as accents, but can be no more than 30% of a façade.
- C) Trim and accents can be primary colors, however, primary facades and roof colors should be oriented to earth tones.
- D) Roofs visible from public roads shall be standing seam metal, ( not galvanized or equivalent) tile, or architectural shingles.

### 3.1.5 Mechanical Equipment, Loading Area, and Outdoor Storage

- A) All loading docks, accessory outdoor storage and service yards shall be located to the side and rear yards of buildings.
- B) All outdoor storage yards, loading docks, service areas and mechanical equipment shall be concealed from view from public streets by a combination of screens and screening material (plants) at least as high as the equipment or areas they hide. They shall be designed with colors and materials similar to those used on the building architecture. Plants used in combination with screens/fencing shall be evergreen.

### 3.1.6 Fences

- A) All fencing shall consist of wooden, stake, parcel picket, split rail, vinyl, wrought iron, and/or masonry (including rock or stucco). Chain link will not be accepted.
- B) No fence shall exceed 6 feet in height.
- C) No fences are allowed in the front setback.
- D) Excessive fencing shall be avoided, through the use of staggering, landscape, buffer, and anchor materials. Excessive fencing is defined as a continuous length of fencing longer than 25' without plantings and staggered sections.
- E) The fencing shall be compatible with the approved architectural styles.
- F) Perimeter fencing along public streets will include decorative elements such as masonry columns at an interval of not more than 100' on center.
- G) Retaining walls: Any portion of concrete or masonry retaining walls visible from public streets will be covered with decorative materials such as stone, brick or stucco.
- H) Fencing design subject to DRC/JRC approval.

Figure H - *Commercial Example*



LDD

Figure I - *Commercial Example*



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Figure J - *Commercial Example*



LDD

Figure K - *Commercial Example*



LDD

Figure L - *Commercial Example*

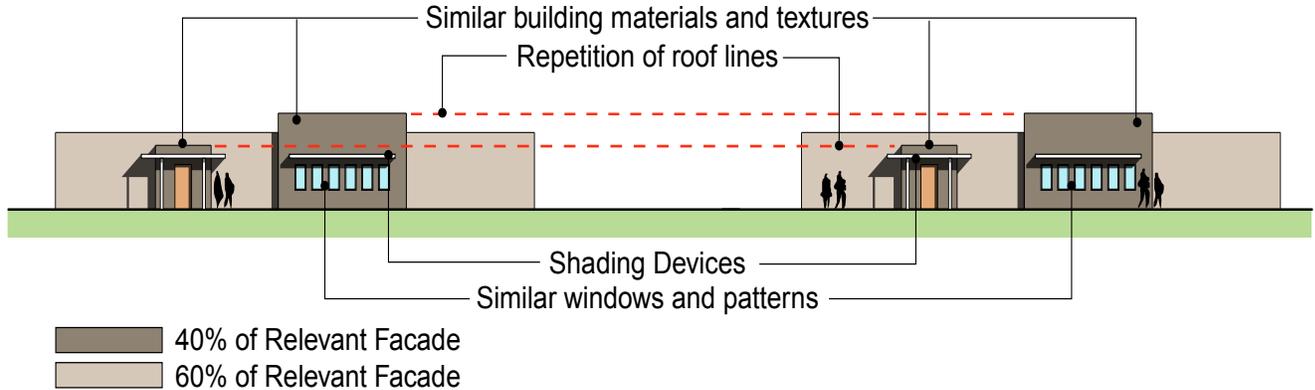


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## 3.2 Design Standards - Office

Office uses will vary in emphasis from high end corporate headquarters to high traffic professional service providers. Again, the diversity of uses is welcomed and encouraged at High Plains Village.

Figure M - *Context/Scale*

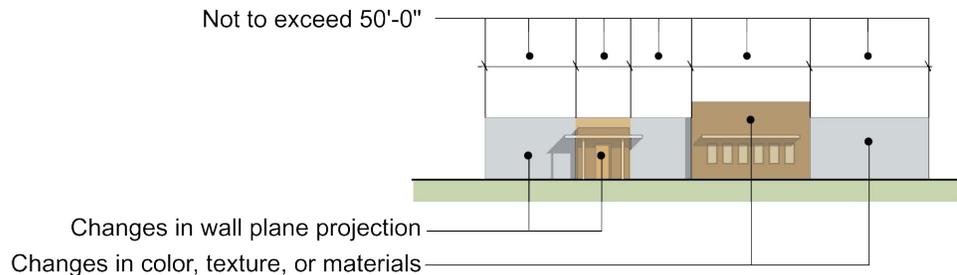


### 3.2.1 Context/Scale

In order to achieve cohesive designs within each area of development attention must be paid to buildings and features surrounding the proposed improvement. The design of office buildings which face public streets, adjacent developments, or connected pedestrian spaces shall employ, along forty (40) percent of the facade, at least two (2) of the following in an effort to homogenize the buildings defining these spaces and to reduce the scale of these spaces to a pedestrian level.

- A) Similar windows and pattern
- B) Repetition of Roof Lines
- C) Similar building materials and textures
- D) Shading devices (including arcades, awnings and arbors.
- E) Similar proportions of elements

Figure N - *Articulation*



### 3.2.2 Articulation

Wall elements for all facades shall vary at least every fifty (50) horizontal feet by use of at least two (2) of the following:

- A) Changes in color, texture, or materials
- B) Changes in wall plan projections, reveals, entrances, and recesses with a minimum change of one foot
- C) Variety in roofs such as pitch, height, and style
- D) Change in glazing/ curtain wall

### 3.2.3 Building Entrances

Public Building entrances should be clearly defined and feature at least two (2) elements of the following:

- A) Canopies, porticos or arches
- B) Overhangs, recesses or projections
- C) Arcades
- D) Display windows
- E) Integral planters or wing walls incorporated landscape areas and/or places for sitting.
- F) Distinctive roof forms
- G) Awnings
- H) Columns, tile work, moldings, and stone integrated into the design of the building

### 3.2.4 Facade Materials

Colors and Materials shall consist of the following façade materials:

- A) Brick, masonry, native or cultivated stone, colored and textured stucco, tinted and textured concrete units, architectural pre-cast panel, tilt-up concrete or stucco.
- B) Metal trim panels smooth face colored concrete, timber trim and heavy timbers may be used as accents, but can be no more than 30% of a façade.
- C) Trim and accents can be primary colors, however, primary facades and roof colors should be oriented to earth tones.
- D) Roofs visible from public roads shall be standing seam metal, ( not galvanized or equivalent) tile, or architectural shingles.

### 3.2.5 Mechanical Equipment, Loading Area and Outdoor Storage

The objective of this provision is to screen these elements from public thoroughfares and the residential areas.

- A) All loading docks, outdoor storage and service yards shall be located to the side and rear yards of buildings.
- B) All outdoor storage yards, loading docks, service areas and mechanical equipment shall be concealed by a combination of screens and screening material (plants) at least as high as the equipment or areas they hide. They shall be designed with colors and materials similar to this used on the building architecture. Plants used in combination with screens/fencing shall be evergreen.

### 3.2.6 Fences

- A) All fencing shall consist of wooden, stake, parcel picket, split rail, vinyl, wrought iron, and/or masonry (including rock or stucco). Chain link will be accepted in security areas only when not visible from public streets and in conjunction with landscape, buffer, and anchor materials.
- B) No fences are allowed in the front setback.
- C) Excessive fencing shall be avoided, through the use of staggering, landscape, buffer, and anchor materials. Excessive fencing is defined as a continuous length of fencing longer than 25' without plantings and staggered sections.
- D) The fencing shall be compatible with the approved architectural styles.
- E) Perimeter fencing along public streets will include decorative elements such as masonry columns at an interval of not more than 100' on center.
- F) Retaining walls: Any portion of concrete or masonry retaining walls visible from public streets will be covered with decorative materials such as stone, brick or stucco.
- G) Fencing design subject to DRC/JRC approval.

Figure O - Office Example



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Figure P - Office Example



LDD

Figure Q - Office Example



LDD

Figure R - Office Example

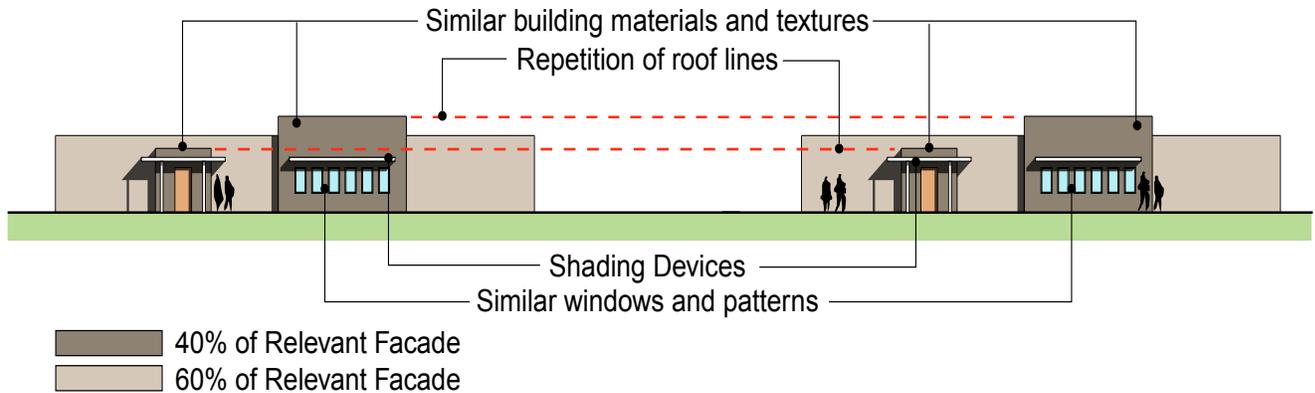


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### 3.3 Design Standards - Light Industrial

Light industrial uses will require a variety of building sizes. These include, by way of example, high cube warehousing and distribution centers.

Figure S - *Context/Scale*



#### 3.3.1 Context/Scale

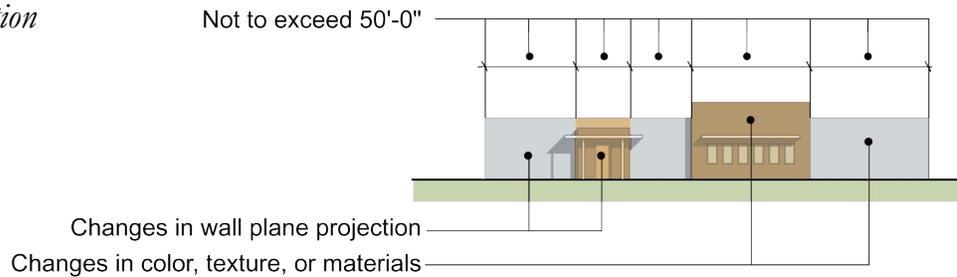
In order to achieve cohesive designs within each area of development attention must be paid to buildings and features surrounding the proposed improvement. The design of light industrial buildings which face public streets, adjacent developments, or connected pedestrian spaces shall employ, along forty (40) percent of the facade, at least two (2) of the following in an effort to homogenize the buildings defining these spaces and to reduce the scale of these spaces to a pedestrian level.

- A) Similar windows and pattern
- B) Repetition of Roof Lines
- C) Similar building materials and textures
- D) Shading devices (including arcades, awnings and arbors).

Figure T - *Light Industrial Example*



Figure U - *Articulation*



### 3.3.2 Articulation

Wall elements for all facades shall vary at least every fifty (50) horizontal feet by use of at least two (2) of the following:

- A) Changes in color, texture, or materials.
- B) Changes in wall plan projections, reveals, entrances, and recesses with a minimum change of one foot.
- C) Variety in roofs such as pitch, height, and style.

### 3.3.3 Building Entrances

Public Building entrances should be clearly defined and feature at least two (2) elements of the following:

- A) Canopies, porticos or arches
- B) Overhangs, recesses or projections
- C) Arcades
- D) Display windows
- E) Integral planters or wing walls incorporated landscape areas and/or places for sitting.
- F) Distinctive roof forms
- G) Awnings
- H) Columns, tile work, moldings, and stone integrated into the design of the building

### 3.3.4 Facade Materials

Colors and Materials shall consist of the following façade materials:

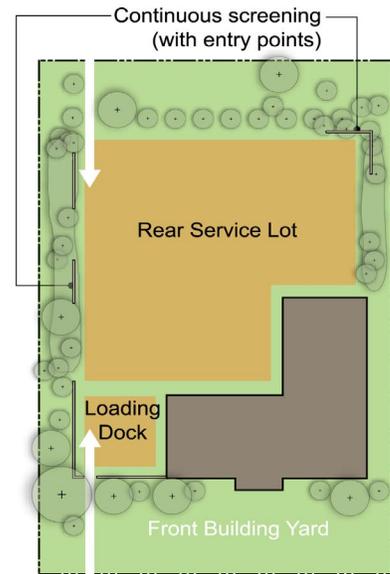
- A) Brick, masonry, native or cultivated stone, colored and textured stucco, tinted and textured concrete units, architectural pre-cast panel, tilt-up concrete or stucco.
- B) Metal trim panels smooth face colored concrete, timber trim and heavy timbers may be used as accents, but can be no more than 30% of a façade.
- C) Trim and accents can be primary colors, however, primary facades and roof colors should be oriented to earth tones.
- D) Roofs visible from public roads shall be standing seam metal, ( not galvanized or equivalent) tile, or architectural shingles.

Figure V - *Light Industrial Example*



LDD

Figure W - *Fencing and Screening*



### 3.3.5 Mechanical Equipment, Loading Area and Outdoor Storage

The objective of this provision is to screen these elements from public thoroughfares and the residential areas.

- A) All loading docks, outdoor storage and service yards shall be located to the side and rear yards of buildings.
- B) All outdoor storage yards, loading docks, service areas and mechanical equipment shall be concealed by a combination of screens and screening material (plants) at least as high as the equipment or areas they hide. They shall be designed with colors and materials similar to this used on the building architecture. Plants used in combination with screens/fencing shall be evergreen.

### 3.3.6 Fences

- A) All fencing shall consist of wooden, stake, parcel picket, split rail, vinyl, wrought iron, and/or masonry (including rock or stucco). Chain link will be accepted in security areas only when not visible from public streets and in conjunction with landscape, buffer, and anchor materials.
- B) No fences are allowed in the front setback.
- C) Excessive fencing shall be avoided, through the use of staggering, landscape, buffer, and anchor materials. Excessive fencing is defined as a continuous length of fencing longer than 25' without plantings and staggered sections.
- D) The fencing shall be compatible with the approved architectural styles.
- E) Perimeter fencing along public streets will include decorative elements such as masonry columns at an interval of not more than 100' on center.
- F) Retaining walls: Any portion of concrete or masonry retaining walls visible from public streets will be covered with decorative materials such as stone, brick or stucco.
- G) Fencing design subject to DRC/JRC approval.

Figure X - *Light Industrial Example*



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Figure Y - *Light Industrial Example*



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Figure Z - *Light Industrial Example*



Figure A-A - *Light Industrial Example*



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## 4.0 Residential Design Guidelines

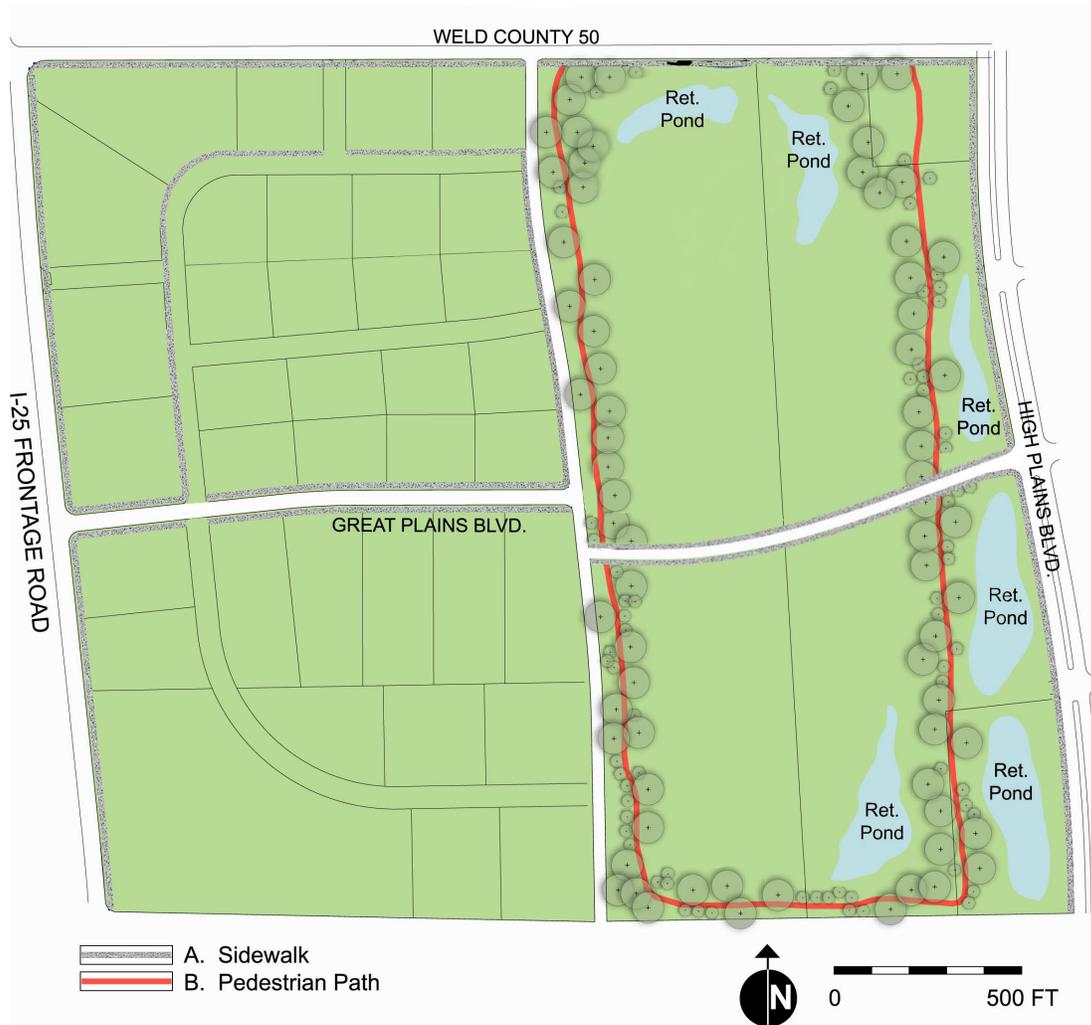
This land use area is intended to provide for the residential development of patio homes, attached single family homes, and multi-family dwellings as set forth in the Annexation Agreement of October 1, 2002. The residential portion of the PUD will be phased for infrastructure improvements based on demand and studies as approved by the Town of Johnstown.

### 4.1 General Description

The vision for Great Plains Village design will be to emphasize the urban village nature of the residential areas. In order to create this, the following is encouraged:

- A) Clustering of buildings to allow for common greens and open space
- B) Street presence and front porches
- C) Alley access
- D) Varied architectural styles. No more than two units with the same elevations shall be built within three units of itself.
- E) Building locations shall be designed to maximize views in a manner that complements other buildings.
- F) Quiet enjoyment of property through mitigation of noise from I-25, arterials and nearby light industrial uses.

Figure B-B - *Sidewalks and Pedestrian Paths*



## 4.2 Permitted Uses

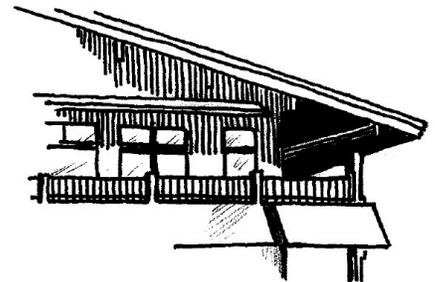
- A) Attached dwelling units of two (2) or including duplexes, triplexes, fourplexes and twelveplexes. These uses would also include town homes, apartments and condominiums.
- B) Patio Homes
- C) Alley Access Units
- D) Accessory structures including garages and carports
- E) Parks, open space, detention, retention, and facilities both public and private
- F) Community buildings, such as a clubhouse or community office
- G) Churches
- H) Child Care Centers
- I) Public and private schools
- J) Libraries, police and fire stations, and postal facilities
- K) Entry features including walls, gates, and signs
- L) Home occupations in accordance with Town of Johnstown Municipal Code

## 4.3 Design Standards - Residential

### 4.3.1 Residential Architecture

- A) Materials shall reflect a Colorado vernacular using a combination of brick, stone, textured concrete, stucco, and wood siding. Brick and stone shall be used for 25% of the facade, less openings.
- B) Colors shall be natural earth tones
- C) The use of eaves, cantilevers, protrusions, and other architectural effects shall be used to break up long expanses of wall areas. Compatible materials and styles shall be used to maintain harmony with adjacent structures with each residential type unit area.
- D) Rooftops shall be designed to screen mechanical equipment, vents, and ducts in a manner that minimizes obstruction of view and provides for an architecturally and aesthetically pleasing manner. Residential roofs will be of 30 year architectural shingles or other long lasting materials such as concrete tiles. For sloped roofs the pitch for the predominant portion will be no less than 3:12.
- E) Entries will be well defined through the use of accessory roofs, porches, change in materials or change in plane.
- F) Stairways to upper level units shall be roofed and enclosed a minimum of 50%.
- G) Building Elevations will be approved by the DRC and JRC
- H) Covenants will be written to restrict balcony storage. No laundry, indoor furniture, trash or storage items will be allowed. Covenants are subject to Town of Johnstown approval.

Figure C-C - Residential Examples  
Various Architectural Styles



Site Standards Table	Attached Units	Detached Units, patio homes	Other Approved Uses
Minimum lot size	NA	6,000	NA
Minimum unit size	750 sf	1,200 sf	NA
Minimum front setback from private streets	10	10	20
Minimum front yard setback to garage	15	15	NA
Minimum side setback	5	5	20
Minimum rear setback	15	15	20
Minimum distance between buildings	10	10	NA
Minimum setback from Weld County Road 50 & Great Plains Boulevard	30	30	30
Maximum building height measured 30' from property line	40	40	40

*note - all measurements in feet unless otherwise noted*

1. Detached garages and carports shall meet all required setbacks
2. Architectural features such as eaves, cantilevers, and fireplaces are encouraged and may encroach into the required front and side setbacks up to two feet. Porches and decks, which are also encouraged, may encroach into the required front setback up to two feet.
3. Patio Homes shall have a minimum staggered front yard setback of five (5) feet.

#### 4.3.2 Fences

- A) All fencing shall consist of wooden, stake, parcel picket, split rail, vinyl, wrought iron, and/or masonry (including rock or stucco). Chain link will not be accepted.
- B) No fence shall exceed 6 feet in height.
- C) Fences within the front setback shall not exceed 42" or provide less than 50% visibility.
- D) Excessive fencing shall be avoided, through the use of staggered, landscape, buffer, and anchor materials.
- E) The fencing shall be compatible with the approved architectural styles.
- F) Split rail fencing shall be used to define open areas.
- G) All accessory trash enclosures shall be fenced with compatible architectural materials.
- H) Perimeter fencing along public streets will include decorative elements such as masonry columns at an interval of not more than 100' on center.
- I) Fencing is subject to DRC/JRC approval

#### 4.3.3 Common Areas and Amenities

All common areas will be maintained by an appropriate Homeowner's Associations. Amenities may include: clubhouse, recreation facility, pool, tennis courts, playgrounds, etc. Common areas will include detention ponds and drainage ways.

#### 4.3.4 Utilities

All utilities such as water, sewer and sanitary will be constructed to the adopted standards of the Town of Johnstown.

#### 4.3.5 Landscape Requirements/Soil Erosion and Sediment Control

- A) The final PUD Landscape plans for the residential portion of Great Plains Village will meet the PUD “Town of Johnstown– Landscape Standards and Specifications”.
- B) All sites disturbed for construction shall be graded and seeded with native seed. All permanent open spaces shall be planted utilizing landscape techniques together with massing of materials and reasonable considerations of plant varieties.
- C) All storm water detention or retention areas will meet the design standards of the Town and will be maintained by the Homeowner’s Association.

#### 4.3.6 Miscellaneous Design Requirements

- A) Temporary Uses - Temporary trailers and modular commercial units may be used for sales and construction offices during the sales and construction period.
- B) Emergency Access - Two (2) all-weather means of emergency vehicular access will be provided and maintained at all times.
- C) Buffering - Buffering adjacent to commercial/industrial uses, arterial and collector roads will be designed to minimize the impacts on residential areas. The buffering plan will be part of the Final PUD Landscape Plan, and reflect Town standards and previous approvals for arterial roads.

Figure D-D  
*Residential Examples*



Figure E-E - *Multifamily Residential Example*



Figure F-F - *Multifamily Residential Example*



Figure G-G - *Multifamily Residential Example*

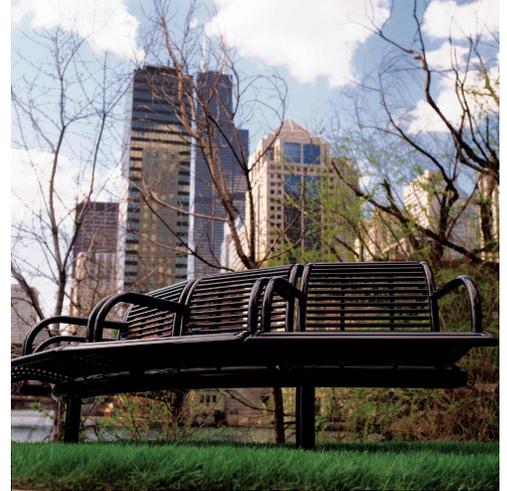


Figure H-H - *Multifamily Residential Example*



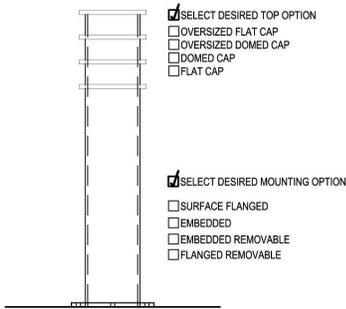
- Appendix A -  
Great Plains Village  
Site Furnishings Examples

Benches



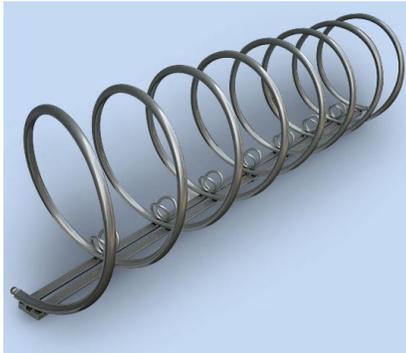
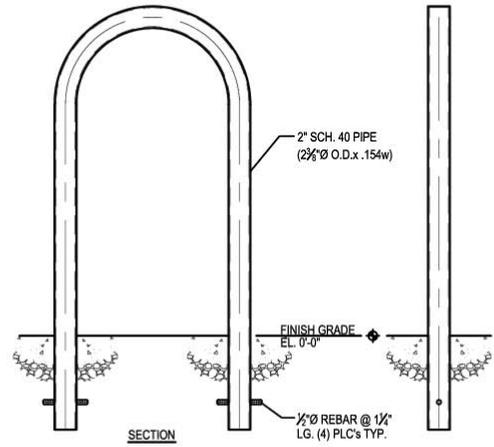
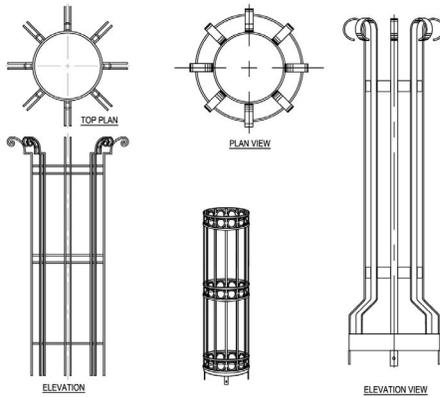
# - Appendix A - Great Plains Village Site Furnishings Examples

## Bollards and Receptacles



- Appendix A -  
Great Plains Village  
Site Furnishings Examples

Bicycle Racks and Tree Guards



- Appendix A -  
Great Plains Village  
Site Furnishings Examples

Bus Stops



- Appendix A -  
Great Plains Village  
Site Furnishings Examples

Site Fixtures

